

Chapter 4: BUSINESS DISTRICTS

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ARTICLE D. MX, MIXED-USE DISTRICTS

9-4D-1 Purpose

The mixed-use (MX) districts of this section are intended to accommodate and promote walkable, mixed-use development patterns along high-volume roadway corridors. The regulations emphasize site design, building scale and basic elements of building design to help foster the desired physical character of redevelopment activities along these corridors.

9-4D-2 The Districts

When this zoning ordinance refers to “mixed-use” zoning districts or “MX” districts, it is referring to the following districts:

DISTRICT NAME	MAP SYMBOL
Residential Mixed-Use	MXR
Main Street Mixed-Use	MX1
Corridor Mixed-Use	MX2

9-4D-3 Regulating Maps

A. District Boundaries

The regulating maps (Figure 9-4D-5 and Figure 9-4D-4) on page 4-3 and page 4-2 show the boundaries of the MX districts.

B. Primary Streets and Secondary Streets

The MX district regulations often impose more stringent regulations along primary street frontages. Primary streets are identified on the regulating maps (Figure 9-4D-5 and Figure 9-4D-4). All streets abutting MX districts that are not designated primary streets are secondary streets.

Figure 9-4D-4. Regulating Map

Legend

-  MXR: Residential Mixed-Use District
-  MX1: Main Street Mixed-Use District
-  MX1: Main Street Mixed-Use District with additional height allowance
-  MX2: Corridor Mixed-Use District
-  Primary Street
-  Frontage Drive or Primary Street (see XXXX)





Figure 9-4D-5. Regulating Map

Legend

-  MXR: Residential Mixed-Use District
-  MX1: Main Street Mixed-Use District
-  MX2: Corridor Mixed-Use District
-  Primary Street

9-4D-4 Examples of Intended Character

Figure 9-4D-6 through Figure 9-4D-9 depict the general character of development intended result from application of the MX district regulations of this article. They are illustrative only and may include elements that are not allowed or omit elements that are required.



New Construction Row Building



Existing Historic Mixed-use Storefront Building



New Construction Single Story Storefront Building & Existing Historic Mixed-use Storefront Building



New Construction General Building (Residential)



New Construction Mixed Use Storefront Buildings



New Construction Mixed Use Storefront Buildings



New Construction General Building (Residential)



Figure 9-4D-8. Main Street Mixed-Use District (Illustrative)



Figure 9-4D-7. Residential Mixed-Use (Illustrative)



Existing New Construction Storefront Building



New Construction Single Story Storefront Building & Existing Historic Mixed-use Storefront Building



New Construction Mixed Use Storefront Buildings



New Construction Mixed Use Storefront Buildings



New Construction Mixed Use Storefront Buildings



New Construction Mixed Use Storefront Buildings

Figure 9-4D-9. Corridor Mixed-Use District (Illustrative)

9-4D-5 Building Regulations

The following table defines the building requirements for the MX districts. See Sec. 9-4D-6 for an explanation of key measurements and the general site and building design requirements in Sec. 9-4D-7, and Sec. 9-4D-8.

	MXR: RESIDENTIAL MIXED-USE	MX1: MAIN STREET MIXED-USE	MX2: CORRIDOR MIXED-USE
A. Building & Parking Siting See Figure 9-4D-10.			
1 Primary Street Build-to Zone (BTZ) (feet)	10 – 20	5 – 10 [1]	5 – 10 [1] [3]
2 Minimum Building Coverage Within BTZ (%)	75 [2]	80 [2]	60 [2]
3 Secondary Street Build-to Zone (feet)	10 – 20	5 – 15	5 – 15
4 Minimum Side Setback (feet)	3	None abutting MX, B or I zoning; 10 abutting R zoning	
5 Minimum Rear Setback (feet)	15	5 except 15 abutting R-1 districts	
6 Surface Parking & Loading Location	Allowed in rear yard only for rowhouse buildings; other allowed buildings are subject to MX1 and MX2 regulations	Surface parking allowed in rear and side yards only; side yard parking limited to one double-loaded aisle no more than 65 feet in width, with the driveway located perpendicular to the street centerline	
		Surface parking allowed in the rear yard and side yard	
Loading areas and garbage and recycling areas are allowed in rear yard only			
7 Structured Parking	Structured parking within principal building must be below ground floor or in the rear behind habitable space that is at least 30 feet in depth. Detached accessory parking structures are allowed only in the rear yard.		
B. Height See Figure 9-4D-11.			
1 Minimum Height (stories)	1	2	1
2 Maximum Height (stories)	3	5 [4]	5
2 Required Upper Story Setback	Where R zoning districts exist abutting the parcel or across an alley from the parcel, any story over the second story or over 35 feet above grade shall be set back from the shared property line a minimum of 55 feet. See Figure 9-4D-12.		
3 Floor-to-Floor Height (feet)	9 – 14	9 – 14 [5]	9 – 14 [4]

[1] Except Civic Building, see 9-4D-5.E.

[2] Building must occupy the intersection of any build-to zones on a corner lot.

[3] When distance from back of curb to outer edge of ROW/lot line is less than 16 feet, the build-to zone is 7.5 feet to 15 feet.

[4] An additional 3 stories permitted stepped back from the front facade a minimum of 15 feet, where designated on the regulating plan for additional height allowance.

[5] Storefront buildings have a specific permitted ground-floor height range.

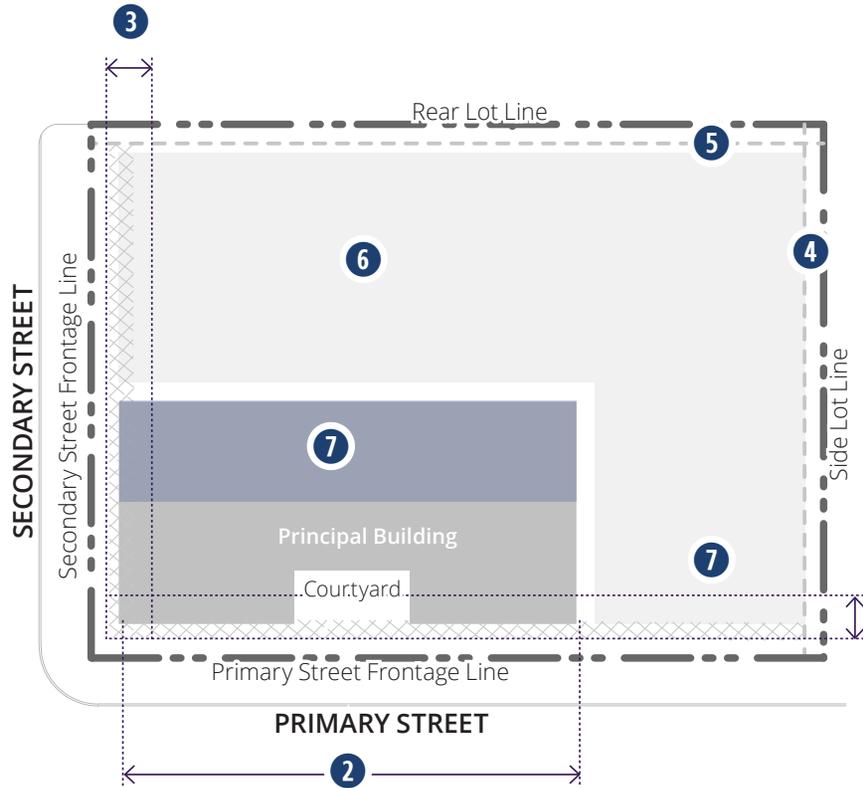


Figure 9-4D-10. MX Districts: Building & Parking Siting

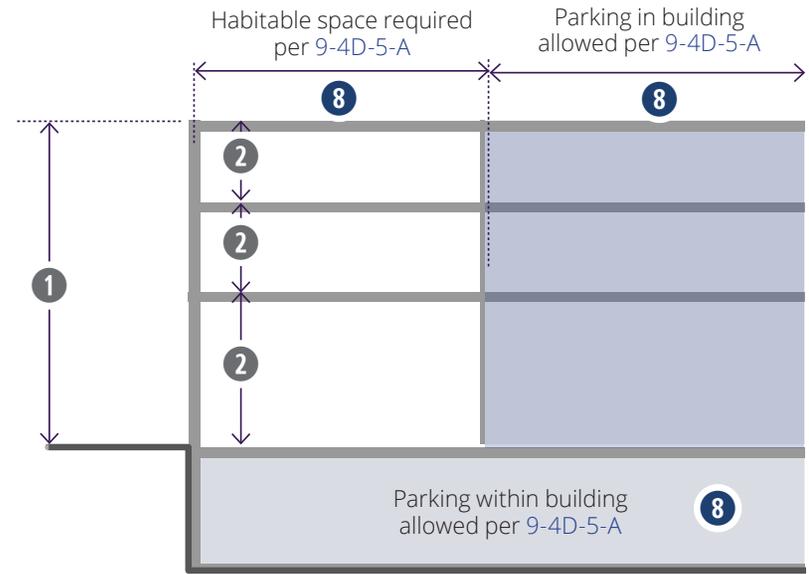


Figure 9-4D-11. MX Districts: Height

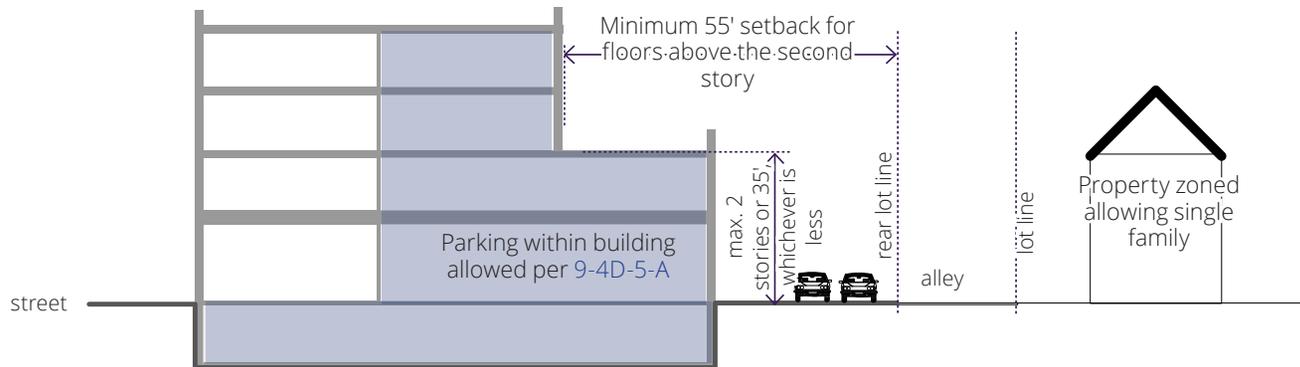


Figure 9-4D-12. MX Districts: Upper Floor Setback at Single Family

MXR: RESIDENTIAL MIXED-USE	MX1: MAIN STREET MIXED-USE	MX2: CORRIDOR MIXED-USE
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C. Facade Requirements

1. Required of all Building Types

See [Figure 9-4D-13](#).

1 Required Transparency per Story (See Sec. 9-4D-6-E)	Street Facades: Minimum 20% on street facades (including any half stories or full floor height towers); no 15-foot wide section, measured horizontally along the story, may be without transparency; and no rectangular segment measuring 30% or more of a story may be without transparency.		
2 Entrance Location	Rear & Side Facades: Minimum 12% on rear. Principal entrance required on primary street-facing facade		
3 Permitted Building Types	Rowhouse or General	Storefront	Storefront or General

2. Storefront Buildings

See [Figure 9-4D-14](#).

4 Ground Story Elevation	NA	80% of ground story must be within 1.5 feet of adjacent sidewalk elevation	
5 Ground Story Transparency (See Sec. 9-4D-6-E)	NA	Minimum 70% transparency required on ground story facade on primary street	
6 Ground Story Height (feet) _(measured floor-to-floor)	NA	12 to 16	13 to 24; 18 feet or more counts as 2 stories
7 Street Facade Divisions	NA	Horizontal expression line required within 3 feet of top of ground story on at least 80% of facade width Vertical expression line required at least once every 30 feet of facade width on the ground story	
8 Entrance Area & Number	NA	Entrances must be recessed between 3 feet and 8 feet from the facade closest to the street; at least one entrance required every 70 feet of building facade	
9 Ground Story Use	NA	All allowed district uses except residential	

3. General Buildings

See [Figure 9-4D-15](#).

10 Ground Story Elevation	80% of ground story must be within 2.5 feet of average grade of adjacent street sidewalk OR between 2.5 feet and 5 feet with visible basement (transparency required)		
11 Entrance Area & Number	Entrance must be off a stoop at least 6 feet in width and 3 feet in depth; at least one entrance required every 120 feet of building facade		
12 Street Facade Divisions	Horizontal expression line required within feet of top of ground story and at top of any visible basement for at least 80% of facade width Vertical divisions required at least once every 120 of facade width on the ground story		

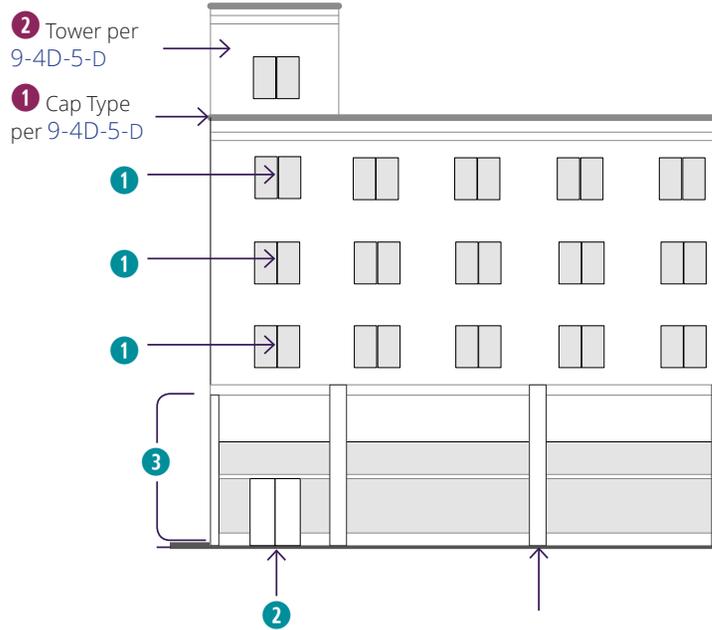


Figure 9-4D-13. Mixed-use Districts: Facades

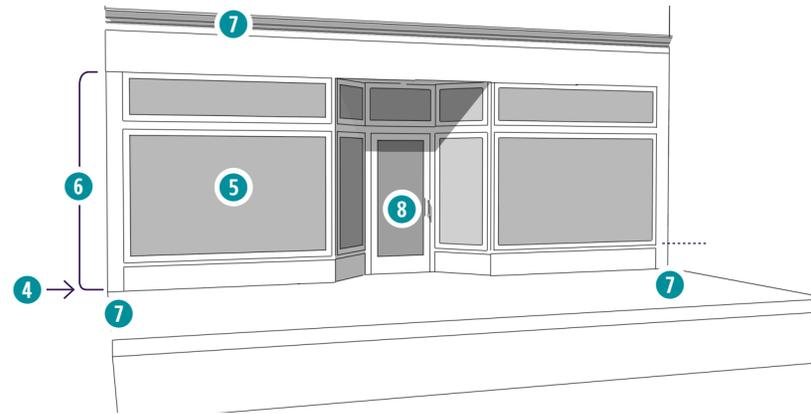


Figure 9-4D-14. Storefront Building

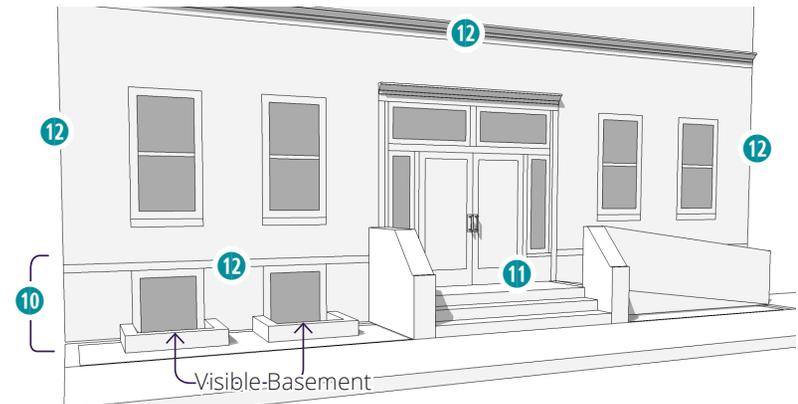


Figure 9-4D-15. General Building

MXR: RESIDENTIAL MIXED-USE

MX1: MAIN STREET MIXED-USE

MX2: CORRIDOR MIXED-USE

4. Rowhouse Buildings

1	Ground Story Elevation	80% of ground story must be within 2.5 feet of adjacent sidewalk elevation or between 2.5 feet and 5 feet with visible basement	NA	NA
2	Entrance Location (See Figure 9-4D-16)	One street-facing entrance per unit	NA	NA
3	Entrance Configuration (See Figure 9-4D-16)	Entry doors must be accessed from stoop at least 4 feet wide and 3 feet in depth or from porch at least 8 feet wide and 5 feet in depth; no more than 2 doors accessed from single stoop or porch	NA	NA
4	Maximum Building Length (See Figure 9-4D-17)	Maximum 8 units or 150 feet, whichever is less	NA	NA
5	Minimum Building Separation (See Figure 9-4D-18)	12.5 feet end to end (side wall to side wall) or 30 feet front to front, rear to rear or front to rear	NA	NA
6	Garage Access (See Figure 9-4D-17)	Driveways and garages are prohibited on primary frontage	NA	NA



Figure 9-4D-16. Rowhouse Building Elevation and Entrances

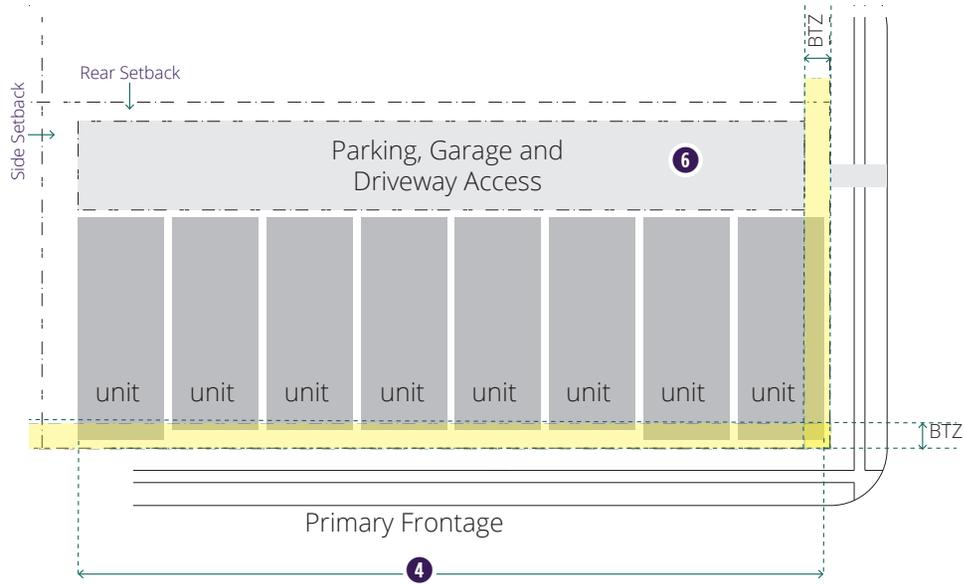


Figure 9-4D-17. Rowhouse Building Length and Garage Access

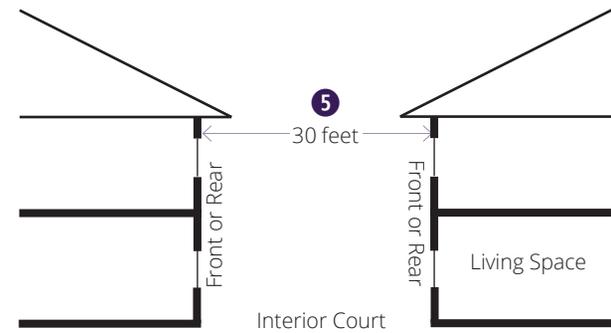


Figure 9-4D-18. Rowhouse Building Separation

MXR: RESIDENTIAL MIXED-USE

MX1: MAIN STREET MIXED-USE

MX2: CORRIDOR MIXED-USE

D. Cap Types

1. General

See [Figure 9-4D-13](#).

1 Permitted Cap Types	Parapet, Pitched, Flat, or combination. Other cap types may be approved by special use permit.
3 Habitable Space	Habitable space is not allowed in any cap except for pitched caps.

2. Pitched Caps

See [Figure 9-4D-19](#).

4 Permitted Pitch	The majority of the roof must have a minimum pitch of 4:12 (rise:run) and a maximum of:12. Pitches of less than 4:12 are permitted on second story or higher roofs.
5 Permitted Configurations	Hipped, gabled, and a combination of hips and gables with or without dormers are permitted. Gambrel roofs are permitted with the ridge perpendicular to the front lot line. Butterfly roofs (inverted gable roof) are not permitted.
6 Maximum Cap Height	Same as maximum floor height.

3. Parapet Caps

See [Figure 9-4D-20](#).

7 Parapet Height (feet)	Minimum 2; Maximum 6
8 Horizontal Divisions	An expression line must define the parapet from the upper stories of the building and must also define the top of the cap, for at least 80% of the width of each facade

4. Flat Caps

See [Figure 9-4D-21](#).

9 Configuration	Roofs with no visible slope are acceptable. Eaves are required on all street-facing facades.
10 Required Eaves	Eave depth is measured from the building facade to the outside edge of the eave. Eaves must be at least 14 inches in depth Eave thickness is measured at the outside edge of the eave, from the bottom of the eave to the top of the eave. Eaves must be at least 8 inches thick.
11 Interrupting Vertical Walls	One vertical wall may interrupt the eave and extend above the top of the eave with no discernible cap. No more than one-half of the front facade may consist of an interrupting vertical wall. Vertical walls may no more than 4 feet above the top of the eave.

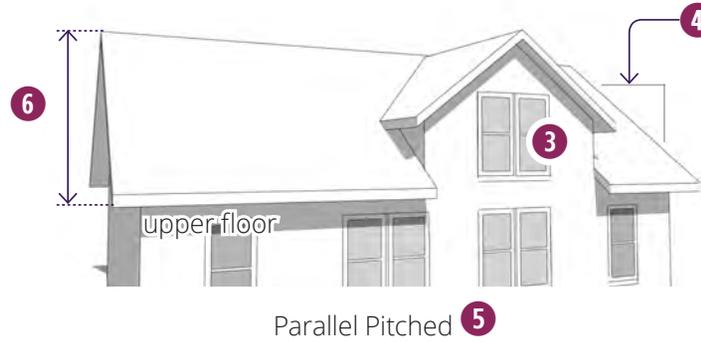
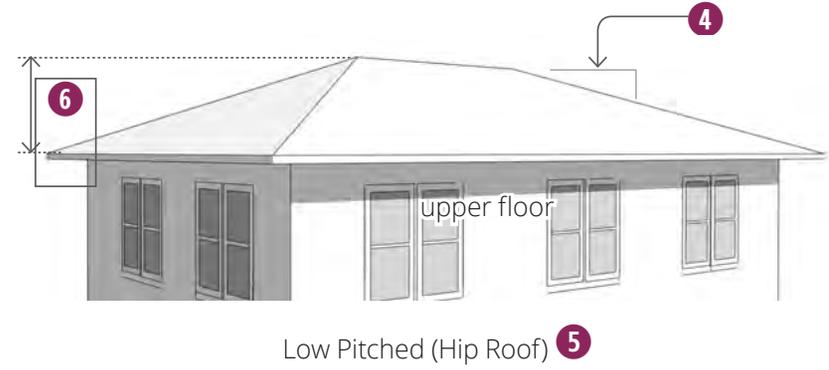
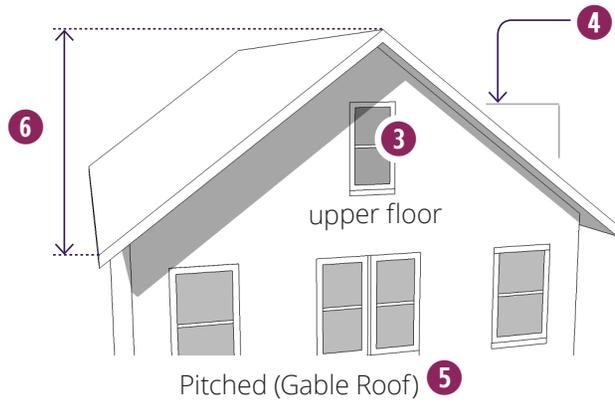


Figure 9-4D-19. Pitched Caps



Figure 9-4D-20. Parapet Cap

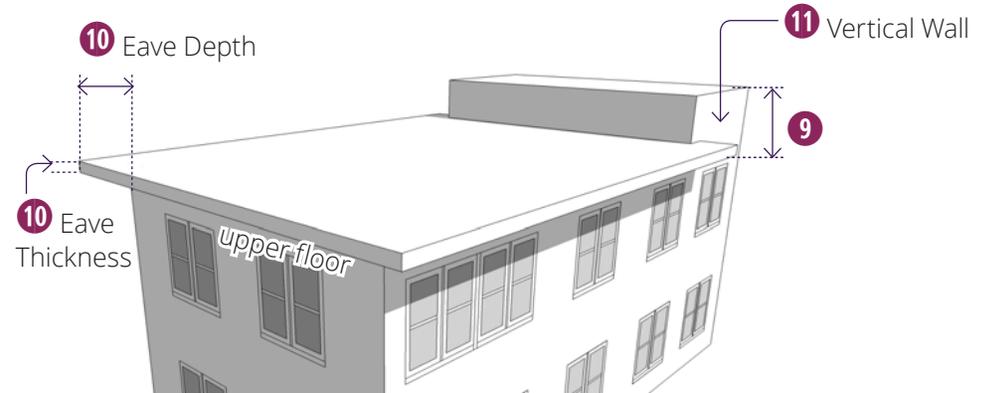


Figure 9-4D-21. Flat Cap

	MXR: RESIDENTIAL MIXED-USE	MX1: MAIN STREET MIXED-USE	MX2: CORRIDOR MIXED-USE
5. Towers See Figure 9-4D-22 .			
12 Configuration	A tower is polygonal (simple), rectilinear, or cylindrical in shape and is a vertical element used in addition to the cap type of the building.		
13 Tower Height	Maximum height, measured from the top of the parapet or eave to the top of the tower, is the equivalent of the height of one upper floor of the building to which the tower is applied.		
14 Tower Width	Maximum width along all facades is one-third the width of the front facade or 30 feet, whichever is less.		
15 Tower Cap	The tower may be capped by any allowable cap types (parapet, pitched, flat).		

	MXR: RESIDENTIAL MIXED-USE	MX1: MAIN STREET MIXED-USE	MX2: CORRIDOR MIXED-USE
E. Civic Building See Figure 9-4D-10 .			
1 Primary Street Setback (feet)	NA	NA	10
3 Secondary Street Setback (feet)	NA	NA	10
4 Minimum Side Setback (feet)	NA	NA	7.5
5 Minimum Rear Setback (feet)	NA	NA	15
6 Surface Parking & Loading Location	NA	NA	Surface parking allowed in rear and side yards only; side yard parking limited to one double-loaded aisle no more than 65 feet in width, with the driveway located perpendicular to the street centerline
			Loading areas and garbage and recycling areas are allowed in rear yard only
7 Structured Parking			Structured parking within principal building must be below ground floor or in the rear behind habitable space that is at least 30 feet in depth. Detached accessory parking structures are allowed only in the rear yard.
8 Maximum Height	NA	NA	3 stories; 35 feet
9 Required Transparency per Story (See Sec. 9-4D-6-E)	NA	NA	Street Facades: Minimum 12% on street facades (including any half stories or full floor height towers); no 15-foot wide section, measured horizontally along the story, may be without transparency; and no rectangular segment measuring 30% or more of a story may be without transparency.

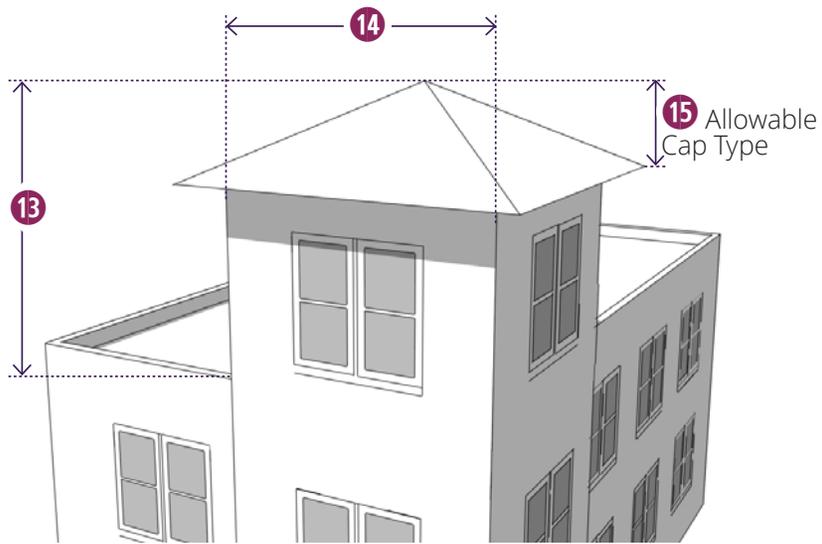


Figure 9-4D-22. Tower

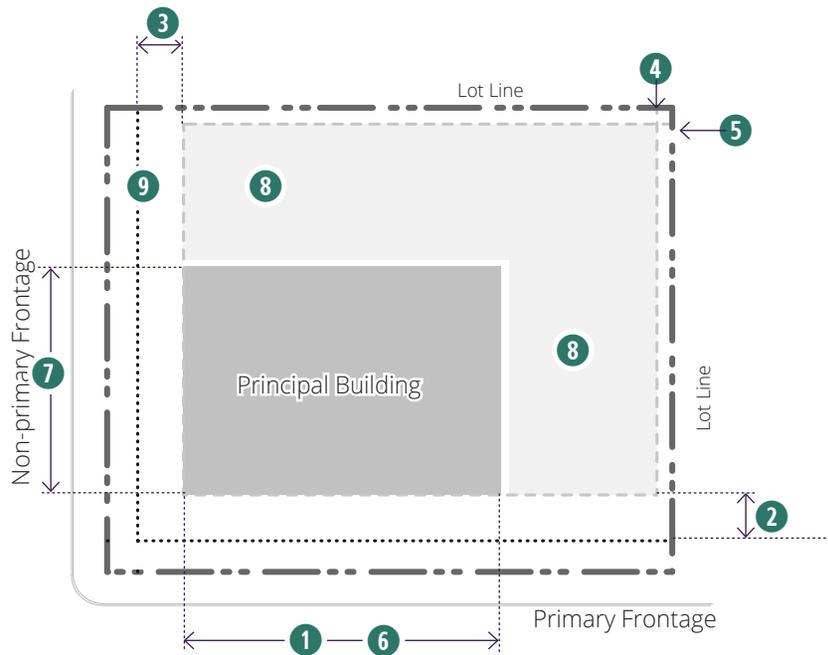
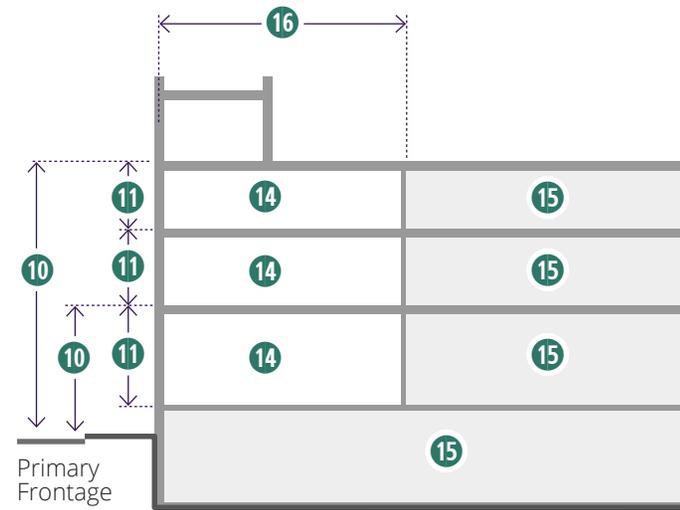
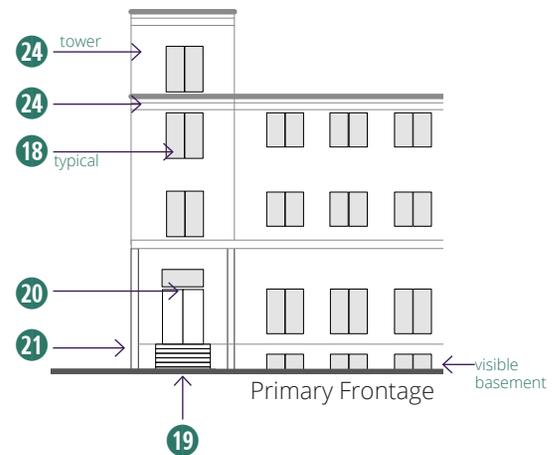


Figure 9-4D-23. Civic Building



9-4D-6 Measurements

This section includes provisions for measuring compliance with the mixed-use district building regulations of Sec. 9-4D-8.

A. Build-To-Zone

1. The build-to zone (BTZ) is the area on the lot where all or a portion of the street-facing building façade must be located, established as a minimum and maximum setback range.
2. Build-to zones are measured from the street lot line into the lot, parallel to the street lot line. See [Figure 9-4D-24](#).

B. Building Coverage within Build-to-Zone

1. The street-facing building façade must be located in and extend along the length of the primary street build-to zone for a minimum distance equal to a percentage of the width of the lot, as required by Sec. 9-4D-8. The required minimum percentage is calculated by dividing the width of the building façade located within the BTZ by the width of the lot, not including any required side setbacks. For purposes of this calculation, the width of the lot is the narrowest dimension of the lot within the build-to zone. See [Figure 9-4D-25](#).
2. Courtyards and parking areas (where allowed) are not counted as building or building facade areas for purposes of this calculation.
3. Buildings constructed on corner lots must have both the primary and secondary street-facing building façade within the intersection of the 2 primary and secondary build-to-zones. See "corner of lot" in [Figure 9-4D-24](#).

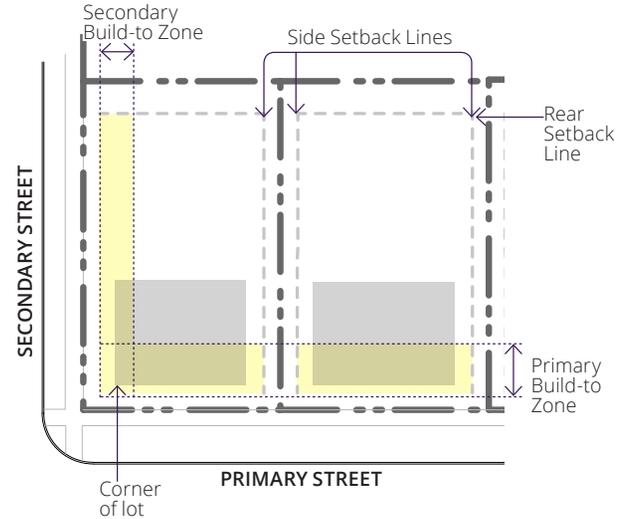


Figure 9-4D-24. Build-to-Zone (BTZ)

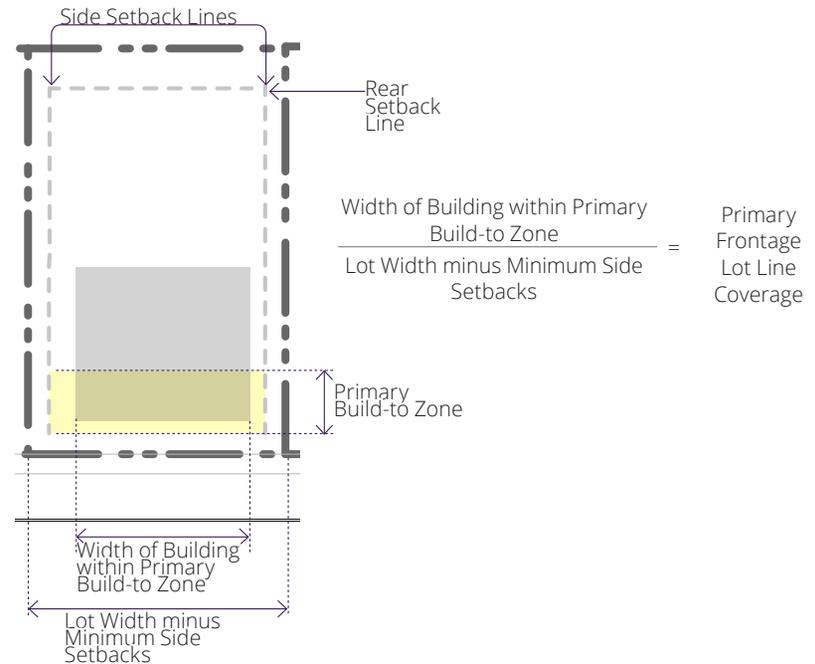


Figure 9-4D-25. Building Coverage within BTZ

C. Building Height

1. Half Stories

Half stories are located either completely within the roof structure or in a visible basement exposed a maximum of one half story above grade.

2. Two Half Stories

If a building includes a half story within the roof and a visible basement, the height of the 2 half stories as are counted as one full story.

3. Clearly Visible Floor Delineation

Floors within the building must be visibly delineated on street-facing facades by the use of expression lines or window layout.

D. Floor-to-Floor Heights

1. Floor-to-floor height is measured in feet between the floor of one story to the floor of the story immediately above it. Minimum and maximum floor-to-floor heights are required to be met on floors abutting street-facing building facades, on at least 80% of each story.
2. For single-story buildings and the uppermost story of multiple story buildings, minimum floor-to-floor height requirements are reduced by 18 inches and measured from the floor of the story to the ceiling immediately above.
3. Floor-to-floor heights above the maximum stated floor-to-floor height area allowed along any non-street facade, but such taller floors count as 2 stories.

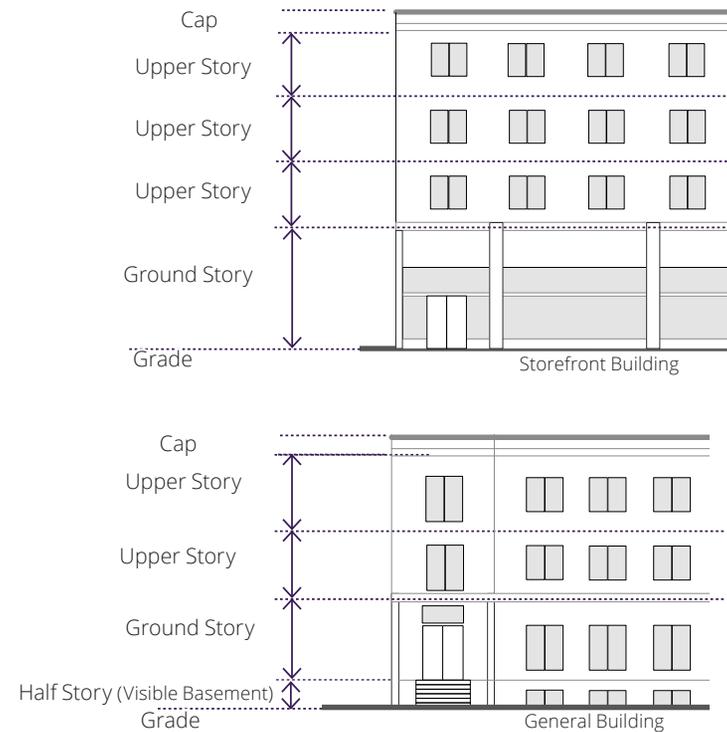


Figure 9-4D-26. Measuring Stories with Floor-to-Floor Height

E. Transparency

1. Measurement

Minimum facade transparency is measured from floor-to-floor of each story separately. See [Figure 9-4D-28](#). Transparency includes windows and any glass in doors that is highly transparent with low reflectance. The measurement may include the frame, mullions, and muntins, but may not include trim or casing.

2. Minimum Ground Story Transparency

Ground story transparency is measured between 2 feet and 8 feet from the average grade at the base of the facade. Minimum ground story transparency supersedes the overall minimum transparency required for the district. See [Figure 9-4D-27](#).

3. Tall Stories

Stories that are 18 feet or taller in height are counted as 2 stories for the purpose of calculating minimum facade transparency, with each story calculated separately.

4. Half Stories and Towers

All half stories located within roof structure and visible basements are required to comply with minimum transparency requirements. Towers within the range of heights of a story must meet minimum transparency requirements.

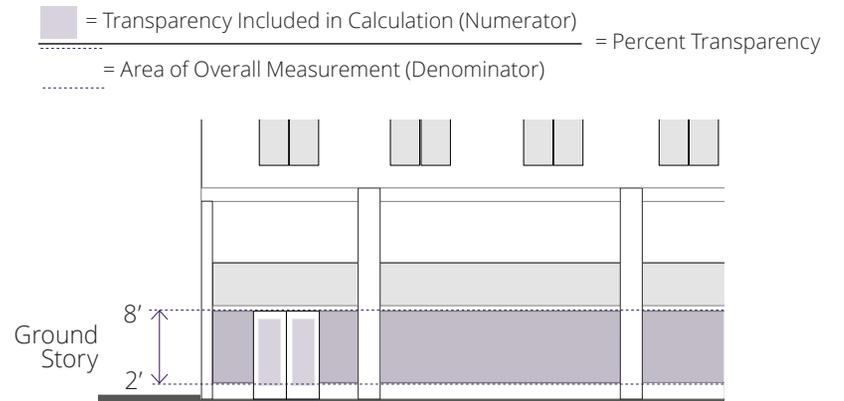


Figure 9-4D-27. Measuring Minimum Ground Story Transparency

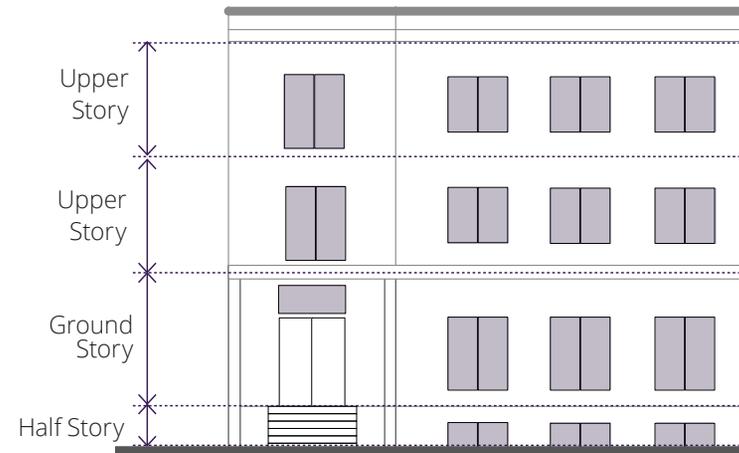


Figure 9-4D-28. Measuring Minimum Facade Transparency per Story

9-4D-7 General Site Design Regulations

The following general site design requirements apply to all districts.

A. Treatment of Build-to Zones and Setbacks

1. All build-to zones and setbacks that are not occupied by buildings must contain courtyards (as allowed by district), patios, sidewalks, or landscape yards, unless otherwise specifically noted.
2. Surface parking lot locations are determined by district regulations. Surface parking lots may never encroach into build-to zones or minimum side setbacks.
3. Permitted driveways may cross perpendicularly through build-to zones and setbacks.

B. Harlem Frontage Drive - Primary Access

The regulating plan (see XXX) designates a Frontage Drive-Primary Street treatment along a specific segment of Harlem Avenue where through lots exist between Harlem and Elgin. In this location, when more than 125 feet of lots along Harlem frontage is redevelopment, one of the following treatments is required:

1. Primary Street

Both Harlem Avenue and Elgin Avenue are required to be treated as primary streets with buildings fronting each street and an internal alley or private drive accessing the buildings. One driveway is permitted per 100' of Harlem Avenue frontage.

2. Frontage Drive

When Harlem Avenue is treated as a non-primary street and the rear of the development is located along Harlem, a minimum 28 foot wide lane/access easement and landscape buffer is required.

a. Landscape Buffer

The landscape buffer/parkway at the edge of Harlem shall be a minimum of 8 feet in width and planted with a street tree and ground plane vegetation.

b. Sidewalk

A minimum 6 foot wide sidewalk shall be located between the landscape buffer/parkway and the frontage lane.

c. Frontage Buffer

Frontage buffer per XXX shall be located between the sidewalk and the frontage lane.

d. Frontage Lane

The frontage lane shall be one way heading south, a minimum of 15 feet wide, accessed off Harlem Avenue in two locations.

e. Rear Setback

A rear setback of at least 10 feet is required for all garages. Street trees shall be planted in the setback, spaced a minimum of 40 on center, with at least one street tree per every 20 feet of garage facade.

C. Driveway Entrances

Location of vehicular driveway access is based on the designation of primary streets and the following.

1. Alleys

Alley access is permitted in all cases. Construction of new private or public alleys through blocks is encouraged. Minimum alley pavement width is 18 feet and maximum pavement width is 28 feet.

2. Secondary Street Access

If no alley exists, one driveway entrance is permitted from each secondary street abutting the lot. One additional driveway entrance is permitted on a secondary street for lots with more than 400 feet of street frontage.

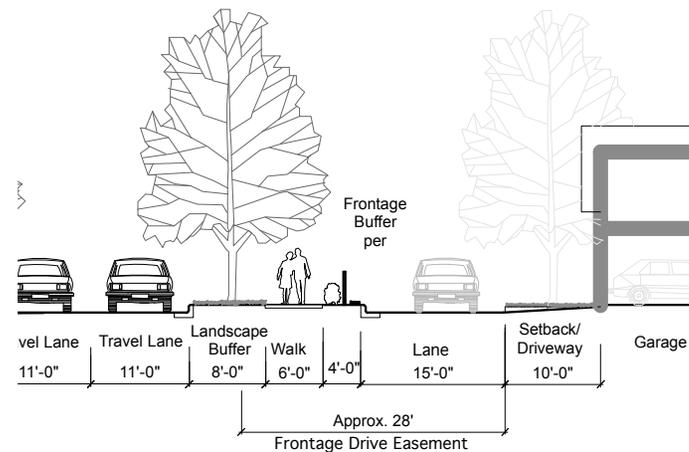


Figure 9-4D-29. Surface Parking Location

3. Primary Street

If no alley or secondary street exists, one driveway entrance is permitted per lot, plus one additional driveway for each 400 feet of primary street frontage.

4. Shared Driveways

Shared driveways are encouraged in all cases.

5. Driveway Width

Driveways may be no greater than 22 feet in width at the right-of-way line.

6. Inter-Lot Drives(Cross-Access)

When 2 or more parking lots are located on abutting lots in the same MX district, the parking lots must be connected with a cross-access driveway.

7. Pedestrian Facilities

- a. Sidewalk paving must extend across all driveways, signaling priority to pedestrians.
- b. At-grade, designated pedestrian routes, including sidewalks and crosswalks, must be provided connecting each parking area to the primary street sidewalk (and main building entrance). Crosswalks (across driveways) must include pavers or color concrete.

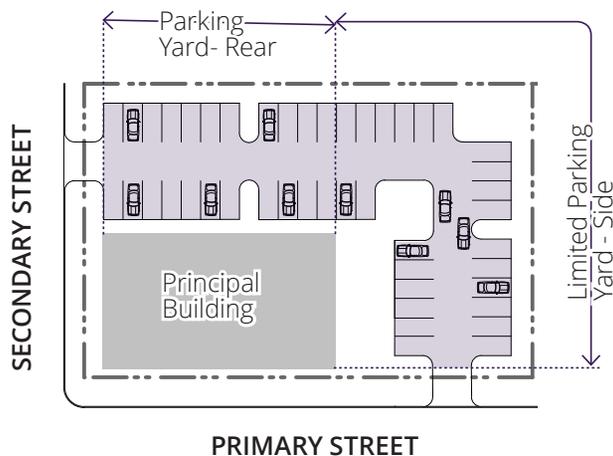


Figure 9-4D-30. Surface Parking Location

9-4D-8 General Building Design Regulations

A. Applicability

This section includes general building design regulations for new buildings and major additions to buildings in MX districts. These requirements apply to all facades that face either streets or main parking lots unless otherwise expressly stated.

B. Materials and Color

1. Major Materials

At least 80% of each facade, not including the windows, must be constructed of major materials. Such materials must wrap around the corner of the building along non-street-facing facades for depth of at least 20 feet.

a. Permitted Materials

The following are permitted as major materials (see [Figure 9-4D-31](#).)

- (1) Stone;
- (2) Brick;
- (3) Glass curtain wall;
- (4) Cement-based stucco;
- (5) Fiber cement siding or shingles (such as HardiePlank, HardieShingle, or HardiePanel vertical siding or similar) on rowhouses in the MX R district only;
- (6) Finished, treated wood siding on rowhouses in the MX R district only.
- (7) Architectural metal panels.

b. Specially-Approved Materials

Other durable, high-quality building materials may be approved during the site plan approval process with an approved sample and examples of successful Chicago-area installations.

c. Prohibited Materials

The following are expressly prohibited as major materials:

- (1) Unfinished, unsealed Exposed concrete;
- (2) Synthetic stucco;
- (3) Unfinished, untreated wood;
- (4) Concrete masonry units (CMU); and
- (5) Glass block.



Primary Material: Stone



Primary Material: Brick

Figure 9-4D-31. Primary Building Materials



Roof Materials: Asphalt Composite Shingles

Figure 9-4D-32. Roof Materials

(6) Vinyl.

2. Minor Facade Materials

Minor facade materials are limited to trim, details, and accent surfaces that make up less than 20% of the facade surface.

a. Materials

All permitted major materials may also be used as minor materials. Additional allowed minor materials include the following:

- (1) Metal for beams, lintels, trim, and ornamentation;
- (2) Burnished, glazed, or honed concrete masonry units (CMU) or block for trim and details (not surfaces);
- (3) Split-face, honed, or glazed concrete masonry units with a height less than 4.5 inches for surfaces less than 10% of the facade surface;
- (4) Cast stone concrete elements;
- (5) Painted or treated wood siding and trim;
- (6) Architectural composite panel systems;
- (7) Architectural metal panel systems; and
- (8) Polyvinyl chloride (PVC) for trim, soffits, and details.

b. Upper Stories Only

The following materials are permitted in upper stories above the second floor:

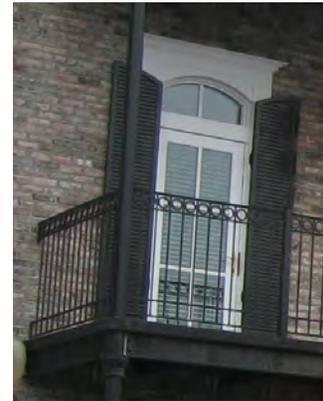
- (1) Bricks larger than 3 inches in height, such as economy bricks,¹
- (2) Synthetic stucco or exterior insulation and finishing systems (EIFS), such as dryvit.
- (3) Fiber cement siding or shingles (such as HardiePlank, HardieShingle, or HardiePanel vertical siding or similar).
- (4) Architectural composite panel systems; and
- (5) Architectural metal panel systems.

3. Roof Materials

a. Materials permitted on sloped roofs include:

- (1) Premium, 3-dimensional or laminated asphalt composite shingles;

¹ I believe we decided to be silent on the larger scale economy bricks? So removing the reference means any size brick can be used as the major material.



Appropriately Scaled Shutters.



Inappropriately Scaled Shutters.

Figure 9-4D-33. Appropriate versus Inappropriate Shutter Scale



Permitted Awnings: Metal



Permitted Awnings: Canvas

Figure 9-4D-34. Awnings

- (2) Wood shingles and shakes;
 - (3) Metal tiles or standing seam;
 - (4) Slate; and
 - (5) Ceramic tile.
- b. “Engineered” wood or slate may be approved during the site plan review process with an approved sample and examples of successful, high-quality Chicago-area installations. See [Figure 9-4D-32](#).

4. Color

Colors used on main building materials are limited to hues from any historic palettes from any major paint manufacturer. Other colors are allowed for details and accents, not to exceed a total area of more than 10% of the facade surface area.

5. Grade of Materials

Commercial-quality doors, windows, and hardware must be used on all buildings.

C. Windows, Awnings, and Shutters

1. Recessed Windows

All upper-story window glass must be recessed at least 2 inches.

2. Transparent Glass

All window glass must be transparent with low reflectance. Reflective glass and glass block are prohibited.

3. Lintels

Lintels must be expressed above windows and doors, whether by a change in brick course or a separate element.

4. Security Grills

Exterior security grills are prohibited on windows.

5. Awnings

Only canvas, cloth or metal awnings are allowed. Other materials are prohibited.

6. Shutters

- a. All shutters must be sized for their associated windows, so that if the shutters were to be closed, they would not be too small or too large for coverage of the window.
- b. Shutters are limited to wood, metal, vinyl or fiber cement. Other “engineered” woods may be approved during the site plan

process with an approved sample and examples of successful Chicago-area installations.

D. Articulation

Stories must be articulated on street-facing facades through fenestration and expression lines.

1. Fenestration

Fenestration or window placement must be organized by stories.

2. Expression Lines

Horizontal expression lines and opening lintels must be used to delineate stories with minimum expression lines required in accordance with Sec. [9-4D-5](#).

E. Balconies

1. Size

Balconies must be at least 4 feet deep and 6 feet wide.

2. Connection to Building

Balconies must be integral to the facade.



Balconies: Not Permitted.

Balconies Appropriately Attached to or Incorporated into Facade.

Figure 9-4D-35. Examples of Permitted and Prohibited Balconies.

3. Facade Coverage

A maximum of 40% of street-facing facades may be covered with balconies.

F. Rear Parking Facade Design

The following applies in locations where a public building entrance occurs on the rear facade abutting a main parking lot. A main parking lot is one in which 50% or more of the parking is located.

1. Applicable Location

The required ground story treatment for the street facade of the district applies to at least 30 feet or 30% of the rear facade along the parking lot, whichever is greater (See Sec. 9-4D-5).

2. Window Requirement

- a. For a storefront buildings, at least 65% fenestration is required on the ground floor facade entrance, and the door must be at least 50% transparent.
- b. For a general buildings, at least 20% fenestration is required on the ground floor facade entrance, and the door must be at least 40% transparent.

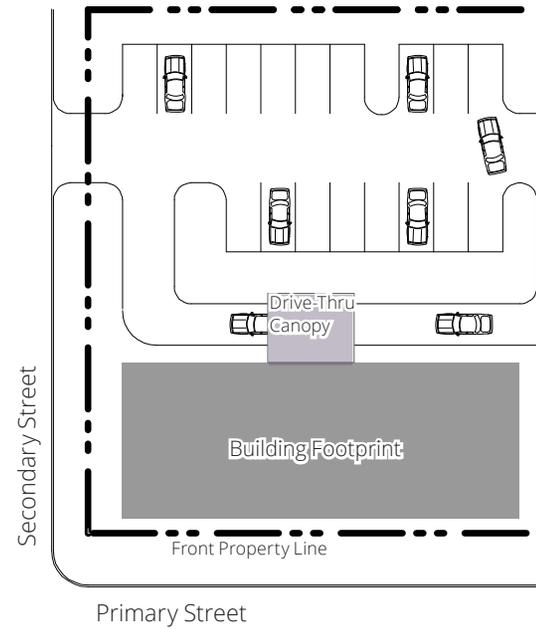


Figure 9-4D-37. Drive-Through Facility Layout

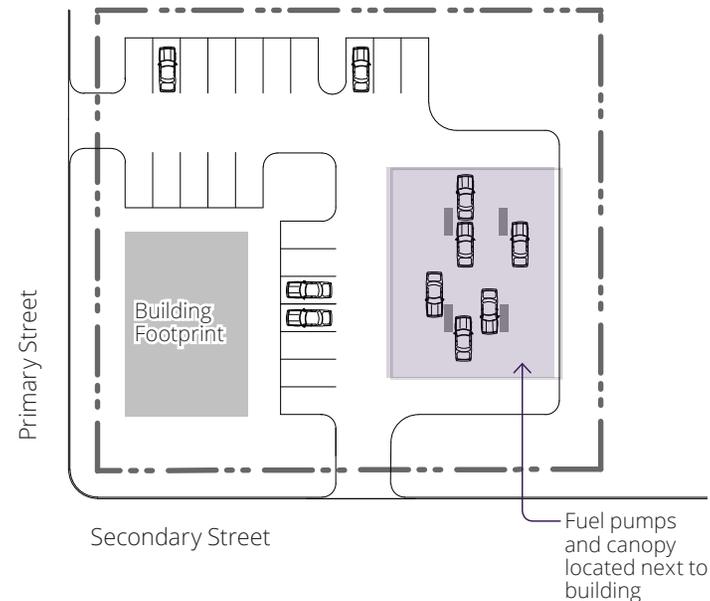


Figure 9-4D-38. Fueling Station Layout

9-4D-9 Special Site and Building Types

A. Accessory Drive-through Structures

1. **Structure/Canopy**
Allowed drive-through structures or canopies must be located on the rear facade of the building or in the rear of the lot behind the building, where permitted by use. See also [Figure 9-4D-37](#).
2. **Stacking Lanes**
Stacking lanes must be located perpendicular to the primary street or behind the building.
3. **Materials**
The canopy and structure must be constructed of the same materials utilized on the building.

B. Fueling Stations

1. **Structure Location**
The principal building must be built up to any corner with the longest facade along the designated primary street. See also [Figure 9-4D-38](#).
2. **Side Yard Parking**
One double-loaded aisle of parking is permitted on the interior side along a primary street, perpendicular to the street.
3. **Pumps and Canopy Location**
The pumps and canopy may be located on the interior of the parcel.
4. **Structure Facade Design**
The facade of any building must comply with the MX district building requirements (See Sec. [9-4D-5](#)) and all general design requirements within this section.
5. **Landscaping**
All unpaved areas of the site must be landscaped.

9-4D-10 Allowed Uses

Uses are allowed in MX districts in accordance with the following table:

KEY:

P = PERMITTED

C = CONDITIONAL USE PERMIT REQUIRED

L = PERMITTED BUT LIMITED TO UPPER STORIES ONLY

- = NOT PERMITTED

USE	MX R	MX1	MX2
RESIDENTIAL			
Single-family dwelling	-	-	-
Two-family dwelling	P		
Rowhouse dwellings or townhouses	P	-	P
[Apartments ADDED]	P	L	P
Apartments with not less than 400 square feet of usable floor area per family, provided they are located on the second floor and above a business use permitted in this district	-	P	P
PUBLIC AND CIVIC			
Cemetery	-	-	-
Church	P	C	P
College or university	-	C	C
Community buildings, museums and libraries	-	P	P
Electric transforming or converting station	-	-	-
Governmental and public utility buildings and facilities when necessary for serving the surrounding territory, provided that no public business offices and no repair or storage facilities are maintained thereon	-	-	-
Hospitals, clinics, nursing and convalescent homes	-	-	P
Hospitals, clinics, sanitariums and nursing homes which are subject to regulation by the state of Illinois or any agency thereof	C	-	C
Municipal, state or federal office buildings	-	L	P
Parks and playgrounds	P	-	C
Post office, no distribution	-	P	P
School, public or private (elementary, middle, or high schools)	P	-	-
Telephone exchange	-	-	-
COMMERCIAL			
	-	-	-

USE	MX R	MX1	MX2
Animal grooming and boarding with no outdoor boarding	C	C	C
Automobile service stations and garages (all repair conducted within enclosed buildings)	C	-	C
Bakery whose products are sold at retail on the premises	P	P	P
Bakery, dyeing and cleaning works or laundry, provided primary purpose is to serve retail trade	P	-	P
Bank, savings and loan association	P	-	P
Beauty supply stores, not greater than one thousand (1,000) square feet in area	P	P	P
Bowling alleys	P	-	P
Business or commercial school	P	L	P
Commercial parking lots	C	C	C
Drive-in and drive-through facilities per 9-4D-9.A	P	-	P
Equipment service shop, such as radio shop, television shop, electrical appliance shop, record shop, locksmith shop, upholstering shop	P	P	P
Farming, truck and flower gardening and plant nursery	P	-	P
Food catering establishments	P	-	P
Food lockers	P	-	P
Fraternities, sororities and dormitories	-	-	-
Group daycare homes, as defined in section 9-1-5 of this title	-	-	-
Hotels and motels with rooms accessed off a central interior corridor	P	-	P
Medical cannabis dispensary, in compliance with the state of Illinois compassionate use of medical cannabis pilot program act and meeting the parking requirement of chapter 8 of this title for medical cannabis dispensary	C	-	C
Money lenders, including any person, partnership, association, limited liability company, corporation or other business combination or entity which engages in the business of making loans which are typically secured by a post dated check or title to a motor vehicle; but not including any financial institution or business entity which accepts secured deposits	C	-	C
Monument works	P	-	P
Mortuaries	P	-	P
Nonmanufacturing laboratories	-	-	-

USE	MX R	MX1	MX2
Personal grooming services, provided that no such business is located within 500 feet of another business providing personal grooming services in conformance with subsection 9-4A-5C	-	P	P
Personal service shop	-	-	P
Personal service shop, such as shoe repair shop, beauty parlor, barber shop, reducing salon and photographic studio, but expressly excluding those uses listed in the B-2, I-1 and I-2 districts	P	P	P
Philanthropic and charitable institutions	-	-	C
Plumbing shop	-	-	P
Printing shop	-	-	P
Private clubs and lodges, except skeet and gun clubs	-	-	-
Private clubs and lodges, except skeet and gun clubs and those, the chief activity of which is service customarily carried on as a business	-	-	P
Professional office in residence of practicing professional person [not home occupation?]	C	L	C
Professional or service office	-	L	P
Public garage and automobile salesroom, including all weather surfaced, open air lot for display of motor vehicles in good operating condition	-	-	-
Radio or television broadcasting station	-	-	P
Recreation or amusement building, expressly excluding those listed in B-2 [bowling alley], I-1 and I-2 districts [roller/ice rink]	-	-	P
Restaurant and/or liquor licensees where no live entertainment or dancing facilities are provided, but not including drive-in and drive-through restaurants	-	P	P
Restaurant with entertainment [combine with above?]	-	P	P
Rooming house	C	-	P
Shop or store for conduct of retail business, including supermarkets, but expressly excluding those uses listed in the B-2, I-1 and I-2 districts	-	P	P
Store for collection and distribution of laundry and dry cleaning articles, but not for the treatment, cleaning of such articles except self-service laundries [not a personal service shop?]	-	P	P

Use	MX R	MX1	MX2
Store for conduct of wholesale business, excluding a building for the principal use of which is for a public storage warehouse	–	–	P
Tavern and/or liquor licensees	–	P	P
Telegraph service station	–	–	–
Theater, except open air drive-in theater	–	P	P
Tobacco shops, which includes any retail store where more than ten percent (10%) of the retail space is devoted to the sale of tobacco and/or tobacco related products	–	C	C
Veterinary hospital and clinic, expressly excluding outside kennels	–	P	P
OTHER	–	–	–
Antennas and towers for personal wireless services (See 9-2-5)	–	P	P
Accessory buildings and uses customarily incident to the following uses, including a sign or bulletin board relating only to services, articles and products offered within the building	–	P	P
Accessory buildings and uses not involving the conduct of a business and including one private garage, but if such accessory building is not attached to the main building, it shall be located not less than sixty feet (60') from the front line of the lot and not less than three feet (3') from the rear line and side lines of the lot	P	P	P
Bus or taxi terminal stations [combine with below]	–	–	–
Bus, railroad or taxi terminal station	–	–	P
Home occupations, as defined in section 9-1-5 of this title	P	P	P
Temporary buildings and uses for construction purposes for a period not to exceed one year	P	P	P
Billboards, on publicly owned property, and only as permitted by the village sign ordinance	–	–	C
Removal of soil, sand, loam, clay and gravel (except in conjunction with the construction of a building, street or utility)	–	–	–

9-4D-11 Definitions

A. Balcony

Any platform that projects more than 6 inches from the wall of a building above grade and that is enclosed by a parapet or railing, not including false balconies or "Juliette" balconies.

B. Build-to Zone (BTZ)

A designated area on a lot in which the principal building must be placed. The BTZ dictates the minimum and maximum distance a building may be placed from a street lot line.

C. Courtyard

An outdoor area enclosed by a building on at least 3 sides and open to the sky.

D. Expression Line

An architectural feature consisting of a decorative, three-dimensional, linear element, horizontal or vertical, protruding or recessed at least 2 inches from the exterior facade of a building typically utilized to delineate the top or bottom of floors or stories of a building, intended to create a shadow line. Examples may include cast stone cornices, pilasters, or stepped brick courses.

E. Habitable Space

Interior building space regularly occupied by building users. It does not include storage areas, utility space or parking.

F. Primary Street

A street that receives priority over other streets in terms of setting front lot lines and locating building entrances.

G. Story, Ground or Ground Floor

The first floor of a building that is level with or elevated above the finished grade on the front and street side facades, excluding basements and cellars.

H. Story, Half

A story that has at least 50% of its floor to ceiling height below grade or a story contained fully within the roof structure.

I. Story, Upper or Upper Floor

The stories or floors located above the ground story of a building.

J. Street Face or Street-Facing

The facade of a building that faces a street right-of-way.

K. Transparency

The measurement of the percentage of a facade that has highly transparent, low-reflectance windows.

L. Visible Basement

A half story partially below grade and partially exposed above with required transparency on the street facade.

9-4D-12 Landscape Requirements

The following establishes general landscape requirements applicable to all building types in the downtown districts.

A. General Installation Requirements

The installation of landscape shall adhere to the following standards.

1. National Standards

All landscape shall be installed in conformance with the practices and procedures established by the most recent edition of the American Standard for Nursery Stock (ANSI Z60.1) as published by the American Association of Nurserymen.

2. Seasonal Preclusion of Installation

If seasonal conditions preclude the complete installation, a cash escrow or irrevocable letter of credit, equal to 1.5 times the installation costs as estimated by a qualified professional. Complete installation is required within 9 months of the issuance of the occupancy permit or the cash escrow or letter of credit may be forfeited.

3. Condition of Planting Materials

The landscape materials used shall be free from visible signs of disease, infestation, or physical defect at the time of planting.

4. Selection of Materials

Landscape materials shall be appropriate for the conditions of the location, including sun and wind exposure, air quality, salt exposure, soil type, expected moisture content of soil, and slope. Plant material shall be native or naturalized to the area, and shall not be considered invasive or potentially invasive.

5. Compost, Mulch, and Organic Matter

Compost, mulch, and organic matter shall be utilized within the soil mix to reduce the need for fertilizers and increase water retention.

6. Establishment

All installed plant material shall be fully maintained, including watering, fertilization, and replacement as necessary. All landscaping and trees shall be maintained according to the most recent edition of the American National Standards Institute, including its provisions on pruning, fertilizing, support systems, lighting protection, and safety.

B. Ground Plane Vegetation Requirements

All areas on the lot not dedicated to building footprint, parking spaces, parking drives, sidewalks, or patios/decks/porches shall be covered by one of the following.

1. Planting Bed

Planting beds shall include shrubs, ornamental grasses, ground cover, vines, or perennials. A minimum of 60 percent of the bed area shall be covered in plant material. The remaining portion of the bed shall be covered with non-living permeable materials, such as mulch or landscape aggregate.

2. Grass

Seeded, plugged, or sodded grass shall be established within 90 days of planting or the area must be reseeded, replugged, or resodded.

C. Tree Installations

Refer to the list of permitted tree types, available at City Hall.

1. Tree Measurement

New trees shall be measured at 6 inches above the mean grade of the tree's trunk when 4 inch caliper or less and 12 inches for tree trunks above 4 inches, and noted as caliper inches throughout this ordinance.

2. Tree Maintenance

Tree trimming, fertilization, and other similar work shall be performed by or under the management of an ISA certified arborist.

3. Species Composition

Trees planted on a site shall be any combination of permitted species with the following exceptions.

- a. One genus shall not comprise more than 30% of trees planted on a site.
- b. One species shall not comprise more than 10% of trees planted on a site.
- c. Exceptions to this provision may be granted by the zoning administrator.

4. Tree Size

All trees to be installed to meet the requirements of this section shall be a minimum of 1.5 inch caliper at the time of installation.

5. Trees Close to Sidewalks & Curbs

No trees may be planted closer to any curb or sidewalk than as follows unless a permeable surface is provided:

- a. Medium trees: three feet.
- b. Large trees: four feet.

6. Permeable Surface

For each tree preserved or planted, a minimum amount of permeable surface area is recommended, unless otherwise stated in this ordinance.

- a. At least seventy 70% of the canopy limits of preserved trees should have a permeable surface.
- b. Planted trees have a suggested minimum permeable area of 225 square feet for medium trees and 400 square feet for large trees.
- c. Permeable area for one tree cannot count toward that of another tree.

7. Structural Soil

When the canopy of the tree at maturity would extend over pavement, structural soil or an approved equal method is required underneath that pavement. Structural soil is a medium that can be compacted to pavement design and installation requirements while still permitting root growth. It is a mixture of gap-graded gravels (made of crushed stone), clay loam, and a hydrogel stabilizing agent to keep the mixture from separating. It provides an integrated, root penetrable, high strength pavement system that shifts design away from individual tree pits (source: Cornell University, Urban Horticulture Institute).

D. Irrigation Systems

Permanent irrigation, beyond establishment, is **required** and shall adhere to the following standards.

1. All irrigation systems shall be designed to minimize the use of water.
2. Non residential landscape irrigation shall have an automatic clock-activated permanent system.
3. The irrigation system shall provide sufficient coverage to all landscape areas.
4. The irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, streets, and parking and loading areas.
5. All systems shall be equipped with a back-flow prevention device.
6. All mechanical systems including controllers and back-flow prevention devices shall be properly screened from public view.
7. Any irrigation system shall remain in good repair.

E. Maintenance of Landscape

All landscaping shall be maintained in good condition at all times to ensure a healthy and orderly appearance.

1. All required landscape shall be maintained to adhere to all requirements of this ordinance.
2. Replacing Unhealthy Landscaping. Unhealthy landscaping shall be replaced with healthy, live plants by the end of the next applicable growing season. This includes all plant material that shows dead branches over a minimum of 25 percent of the normal branching pattern.
3. Maintenance Responsibility. The owner is responsible for the maintenance, repair, and replacement of all landscaping, screening, and curbing required herein.
4. Maintain Quality and Quantity. Maintenance shall preserve at least the same quantity, quality, and screening effectiveness as initially installed.
5. Fences and Other Barriers. Fences, walls, and other barriers shall be maintained in good repair and free of rust, flaking paint, graffiti, and broken or damaged parts.
6. Tree Topping. Tree topping is not permitted. When necessary, crown reduction thinning or pruning is permitted.
7. City Inspection. All landscaped areas regulated by this ordinance may be inspected by the city.

F. Street Trees

Street trees are required along all street frontage, unless otherwise determined by the zoning administrator.

1. **Minimum Street Tree Requirements**
The following standards apply to the installation of street trees.
2. **Clear Branch Height**
Minimum clear branch height is 6 feet; in commercial districts, minimum clear branch height is eight feet.
3. **Street Tree Type**
Medium and large shade trees are permitted to be installed as street trees.
4. **Street Tree Spacing**
Unless otherwise determined by the city, each lot is required to have one tree for every 40 feet of street frontage with a minimum of one street tree per street frontage.

5. Spacing

- a. Large trees must be spaced a minimum of 30 and a maximum of 60 feet on center.
- b. Medium trees must be spaced a minimum of 20 and a maximum of 40 feet on center.

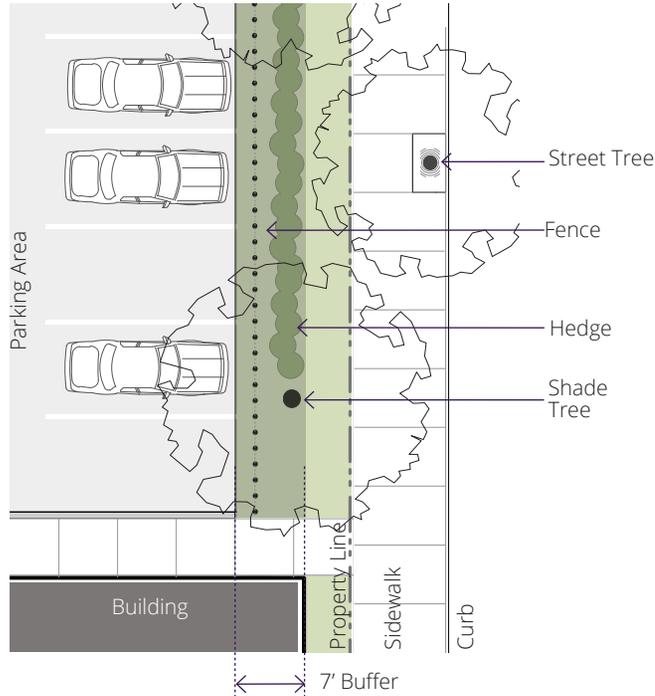
6. Tree Wells

In commercial districts, where the sidewalk extends from the back of curb to the property line, tree wells shall be utilized.

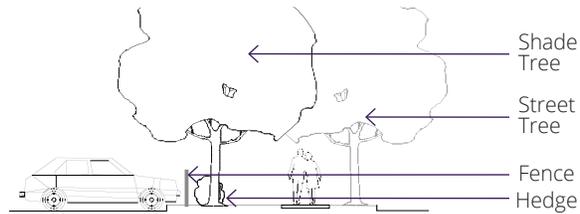
- a. For tree wells adjacent to sidewalks five feet wide or less, open pit is not permitted.
- b. The opening must be covered with a tree grate or pervious pavement.
- c. The opening in a tree grate for the trunk must be expandable.

G. Frontage Buffer

The frontage buffer is required in all locations in the downtown districts where vehicular areas are adjacent to or visible from any street right-of-way, except alleys.



Front Buffer Plan



Front Buffer Section

TREE SIZE	ESTIMATED CANOPY AT MATURITY (SQ FT)	ESTIMATED HEIGHT AT MATURITY (FT)
Very Small	150	under 15'
Small	400	15'-25'
Medium	900	25'-40'
Large	1600	40'+

FRONTAGE BUFFER REQUIREMENTS

1. Buffer Depth & Location

Depth	Minimum 7' from street facing property line for parking areas or minimum 7' from the sidewalk for other uses covered by this section.
Driveways/Walkways	This screening requirement does not prohibit the installation of or provision for openings necessary for allowable access drives and walkways connecting to the public sidewalk.

2. Buffer Landscape Requirements

Uses & Materials	Uses and materials other than those indicated are prohibited in the buffer
Shade Trees	Medium or large shade tree required at least every 40', located on the street side of the fence. Where feasible in the opinion of the zoning administrator, spacing should alternate between trees on the lot and trees in the public right of way.
Hedge	Required continuous hedge on street side of fence, between shade trees & in front of vehicular areas
Hedge Composition	Individual shrubs with a minimum width of 24", spaced no more than 36" on center, height maintained no more than 48".
Existing Vegetation	May be credited toward buffer area

3. Fence

Location	2' from back of curb of vehicular area for parking areas or 3' from hedge trunk for other uses covered by this section.
Materials	Steel or colored PVC; masonry columns (maximum width 2'6") and base (maximum 18" height) permitted
Minimum Height	3'
Maximum Height	4'
Colors	Black, gray, or dark green
Opacity	Minimum 30%; maximum 60%
Gate/Opening	One gate permitted per street frontage; opening width maximum 6'

H. Interior Parking Lot Landscape

The following applies to all off-street, open air parking lots of more than 10 spaces.

1. Other Internal Parking Lot Areas

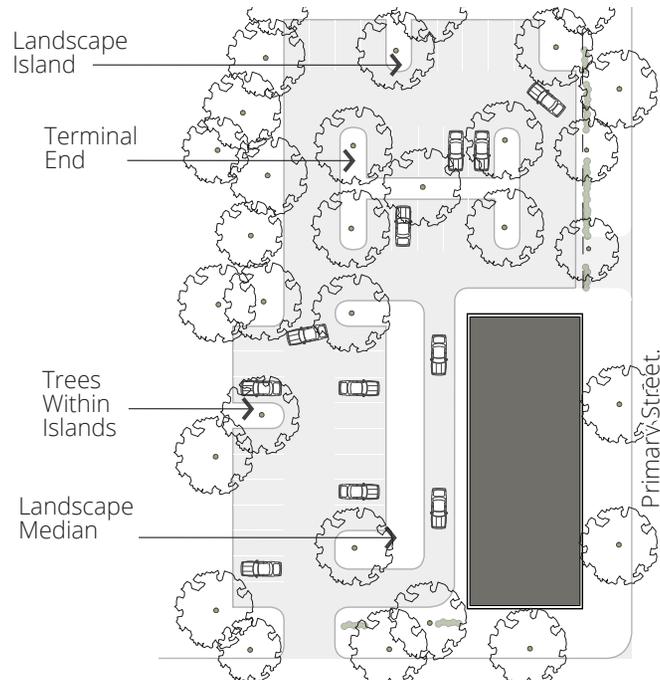
Internal areas not dedicated to parking spaces, loading, or drives shall be landscaped with a minimum of one medium or large shade tree for the first 150 square feet and one medium or large shade tree for every 650' thereafter. Pavement that is diagonally striped and not intended for use as a parking space or drive is not permitted.

2. Existing Vegetation

Existing vegetation may be credited toward these requirements.

3. Definitions

- a. Parking lot interior is defined as the area dedicated to parking on a given parcel as measured from edge of pavement to edge of pavement.
- b. Freestanding rows or bays of parking are those not abutting the parking lot perimeter or building face, and may have a single or double row of parking.



4. Prioritization

For existing parking lots, reduced parking lot landscape may be reduced to size limitations. The frontage buffer shall always be installed, then interior parking lot landscape shall take precedence over required number of parking spaces. If the location can accommodate it, all requirements shall be met.

INTERIOR PARKING LOT LANDSCAPE REQUIREMENTS	
1. Landscape Island Requirements	
Terminal End Islands	Terminal ends are required for every free standing row or bay of parking
Interim Islands	There shall be no more than 8 continuous parking spaces in a row without a landscape island.
Minimum Width	5'; Islands less than 10' in width must utilize structural soil under any paved surface within a tree's critical root zone; Islands under 9' must install an aeration system and utilize permeable pavement
2. Landscape Median	
Recommended Median Location	Recommended in each free-standing bay of parking along the length of the bay
Minimum Width	5'; Medians less than 15' must utilize structural soil under any paved surface within a tree's critical root zone; Islands under 9' must install an aeration system and utilize permeable pavement
3. Tree Requirements	
Required Trees Within Islands	Minimum of 1 medium or large shade tree per island
Requirements per Parking Space	Each parking space must be located within 50' of a tree planted within parking lot interior Minimum of 1 shade tree must be planted within parking lot interior or within 4' of parking lot's edge for every 3 parking spaces
Tree Shade Goal	Within 20 years of tree installation, 30% of the interior of the parking lot should be shaded by tree canopy. Refer to Table 9-5G-5.F (1) for calculation.

9-4D-13 Streetscape Requirements

For all developments in downtown districts, the following streetscape is required.

1. **Streetscape Location.** Streetscape occupies the full pedestrian realm of any street right-of-way and the front yard of all developments.
 2. **Non-Storefront Developments.** For all residential and office developments without storefronts, the following minimum landscape is required on all street frontages.
 3. **Parkway Planting.** The parkway area between the back of curb and the sidewalk shall be planted with street trees and ground plane vegetation. Stormwater accommodations, lighting, and signage may be located in this area.
 4. **Street Yards.** The front and corner side yard areas shall be planted with a minimum of 40 percent planting bed. The remaining area may be grass or patio area.
 5. **Storefront Developments.** For all developments with storefront on the front facade, the following streetscape and landscape is required along all street frontages.
 6. **Streetscape Required.** The entire area from building face to back of curb shall be designed as a combination of hardscape, tree wells, and/or bed areas.
 7. **Standard Specifications.** Streetscape shall meet any standards defined by the city for sidewalk, curb, access, and parkway construction. The zoning administrator, at his/her discretion, may request additional requirements or waive any requirements.
 8. **Streetscape Design Submittal.** A consistent streetscape design shall be submitted for approval with site plan review for all new streets within the development and any existing streets. At a minimum, the streetscape design submittal shall include the following:
 - a. **Street Trees.** Trees meeting the minimum requirements of 11-6-18.E, Street Trees, shall be included in the streetscape design, with details related to tree pits, tree grates, and tree planting.
 - b. **Pavement Design.** Paving materials and pattern is required for each street. Pavement design shall include the minimum sidewalk widths required by the city and any extension of the sidewalk to the back of curb included on the private lot.
 - c. **Street Furnishings.** For a full block development, benches and/or seatwalls, planters, planter fences, tree grates, tree guards, and trash receptacles shall be specified and quantities and locations listed for each street. For each block face, a minimum of two benches and one trash receptacle is required.
 - d. **Bicycle Racks.** Bicycle racks shall be supplied to meet the minimum bicycle parking requirements of the blockface uses. If rear bicycle parking is utilized, a minimum of 50% of the required ground floor use bicycle parking shall be supplied within the streetscape, coordinated with the zoning administrator.
 - e. **Landscape Design.** Ground plane vegetation shall be designated for any landscape bed areas, planter areas, and open tree wells.
 - f. **Lighting.** Pedestrian and vehicular lighting shall be specified and locations and quantities noted. All lighting shall meet any requirements of the City Standards and Specifications Manual. Cut sheets and samples shall be submitted upon request of the zoning administrator.
 - g. **Stormwater Facilities.** Any stormwater facilities proposed for the right-of-way shall be included in the streetscape design. Facilities such as stormwater planter or parkway swales may be included. Maintenance responsibilities and processes shall be included.
 - h. **Identity Elements.** Any other elements designed to establish the identity of each street, such as banners mounted on lightpoles, pavement markers, artwork, or wayfinding signage, shall be included in the streetscape design submittal.
9. **Streetscape Design Continuation.** The approved streetscape design for each street may be utilized by the city for the extension of any street outside the development to provide district continuity.

